



FLOOD RISK ASSESSMENT REPORT

PROJECT: 4 BELLOMBI STREET, CAMPSIE, NSW 2194

PREPARED BY: SNIP CONSULTING ENGINEERS PTY LTD

PRELIMINARY REPORT FOR DEVELOPMENT APPLICATION
REV 01

Flood Risk Assessment Report

For Proposed Granny Flat at 4 Bellombi Street, Campsie, NSW 2194

Date: 13-12-24 | Rev - 01

Prepared for:

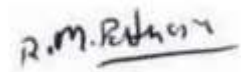
CAPSTON HOMES

Prepared by:

Jagdeep Singh

Reviewed and Signed by:

Snip Consulting Engineers Pty Ltd | 18 Blackburn Street Ropes Crossing NSW



Riyazkhan Pathan

Membership No. – 3895292

MIEAust, NER, CPEng

Project Reference:

4 Bellombi Street, Campsie, NSW 2194

Executive Summary

This Flood Assessment Report supports the proposed residential development at **4 Bellombi Street, Campsie**, legally described as **Lot 3 DP 304408**, within the City of Canterbury-Bankstown. The report evaluates potential flood risks associated with the site and assesses the proposal's compliance with applicable council flood controls and the NSW Floodplain Development Manual (2005).

According to the **Stormwater System Report** issued by Council on **26 May 2025**, the site is not affected by mainstream or overland flooding for the **1% AEP (100-year ARI)** or **5% AEP (20-year ARI)** events. The only applicable flood constraint is the **Probable Maximum Flood (PMF)** level of **RL 7.60 m AHD**, which defines the broader floodplain extent but does not impose mandatory development restrictions for standard residential dwellings.

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1. Introduction

Background

This Flood Assessment Report has been prepared to accompany a development application for a proposed residential dwelling at 4 Bellombi Street, Campsie. The site falls under the jurisdiction of Canterbury-Bankstown Council.

Purpose

The purpose of this report is to assess flood risk for the subject site, determine the applicable flood planning levels, and evaluate compliance with relevant development controls.

Objective

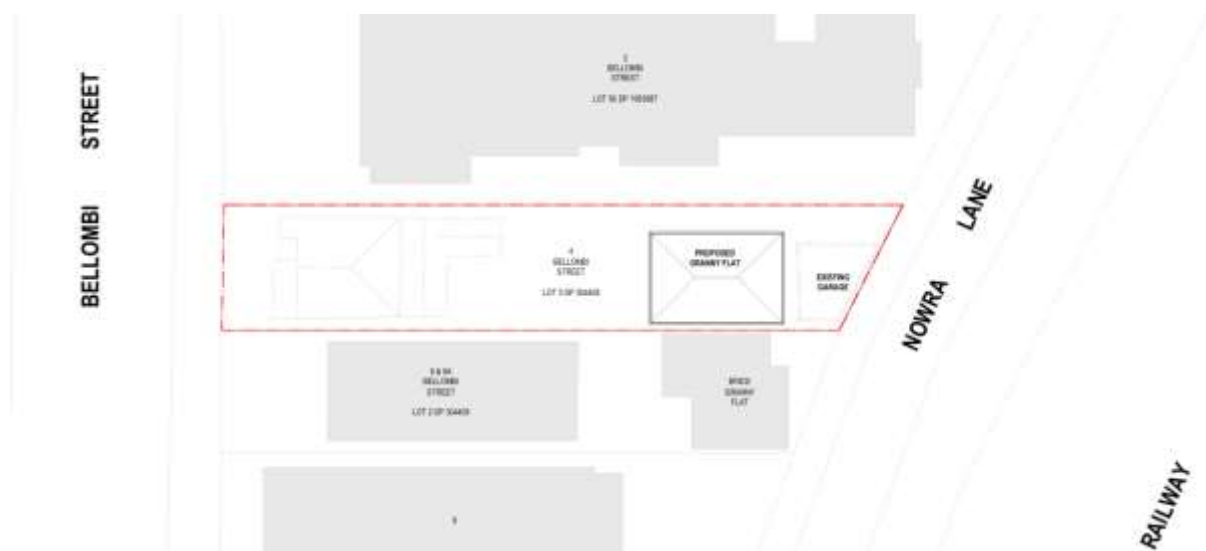
To demonstrate that the proposed development is compatible with the flood affectation constraints of the site, meets council requirements, and incorporates suitable mitigation measures.



2. Site Description

Location and Overview

The subject site is legally described as Lot 3 in DP 304408 and is located at 4 Bellombi Street, Campsie. It is situated in a residential area and surrounded by similar low-density residential developments. The allotment has dual frontages, with primary access via Bellombi Street to the west and secondary access via Nowra Lane to the east. The site is situated within a well-established residential area, surrounded by low-density dwellings and ancillary developments.

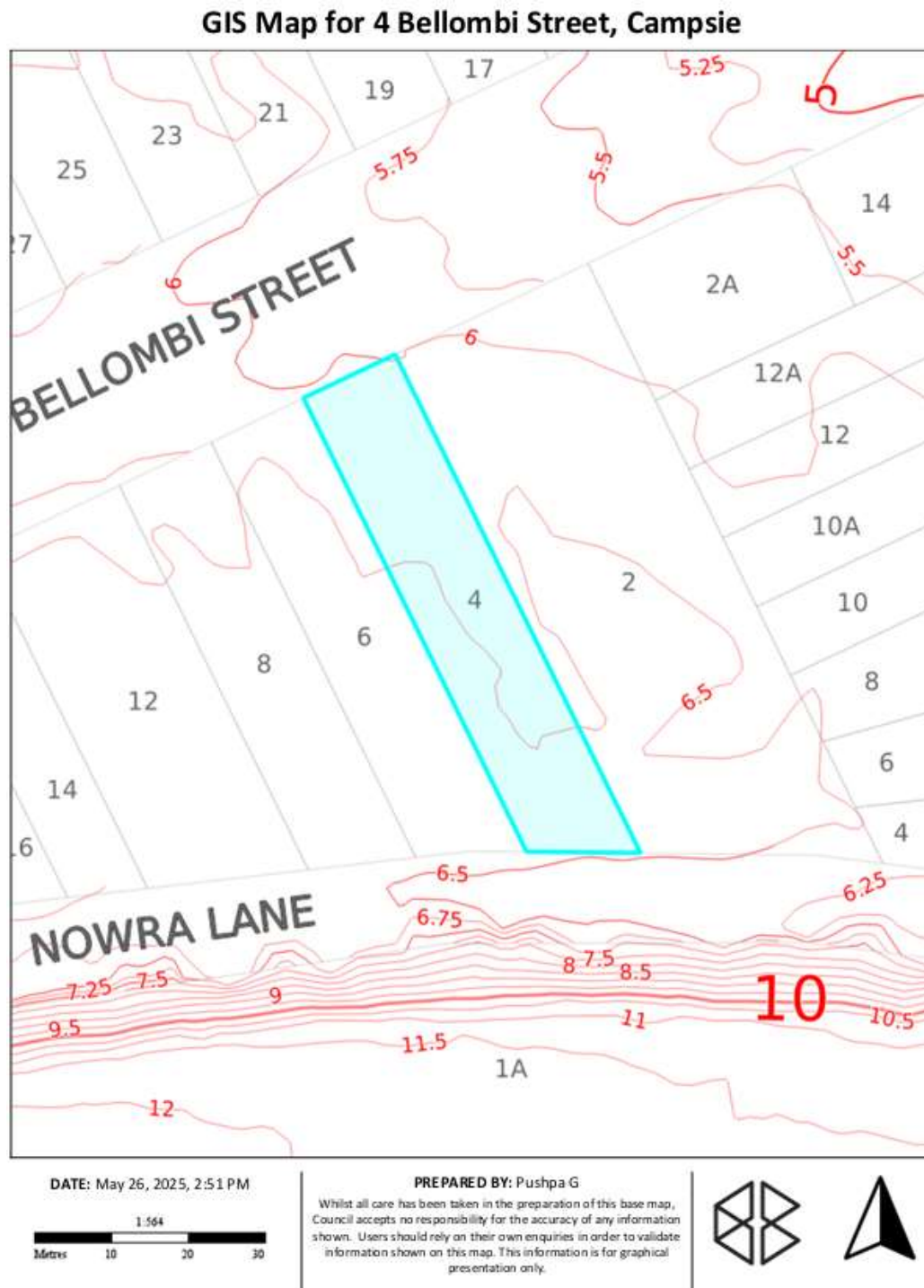


The development proposal involves the construction of a **new detached granny flat** at the rear of the existing dwelling. The proposed granny flat will be positioned adjacent to the rear boundary fronting Nowra Lane and will replace or be built near the **existing garage**, which is to be removed or modified as part of the development. The main dwelling will remain unchanged, and the new structure will be accessed via Nowra Lane.

This development seeks to make efficient use of the underutilised rear portion of the site while maintaining compliance with planning controls and minimising flood risk exposure.

Topographical Features

According to council data and engineering plans, the site has ground levels ranging approximately from RL 6.00 m AHD to RL 6.50 m AHD, sloping gently from the front to the rear boundary.

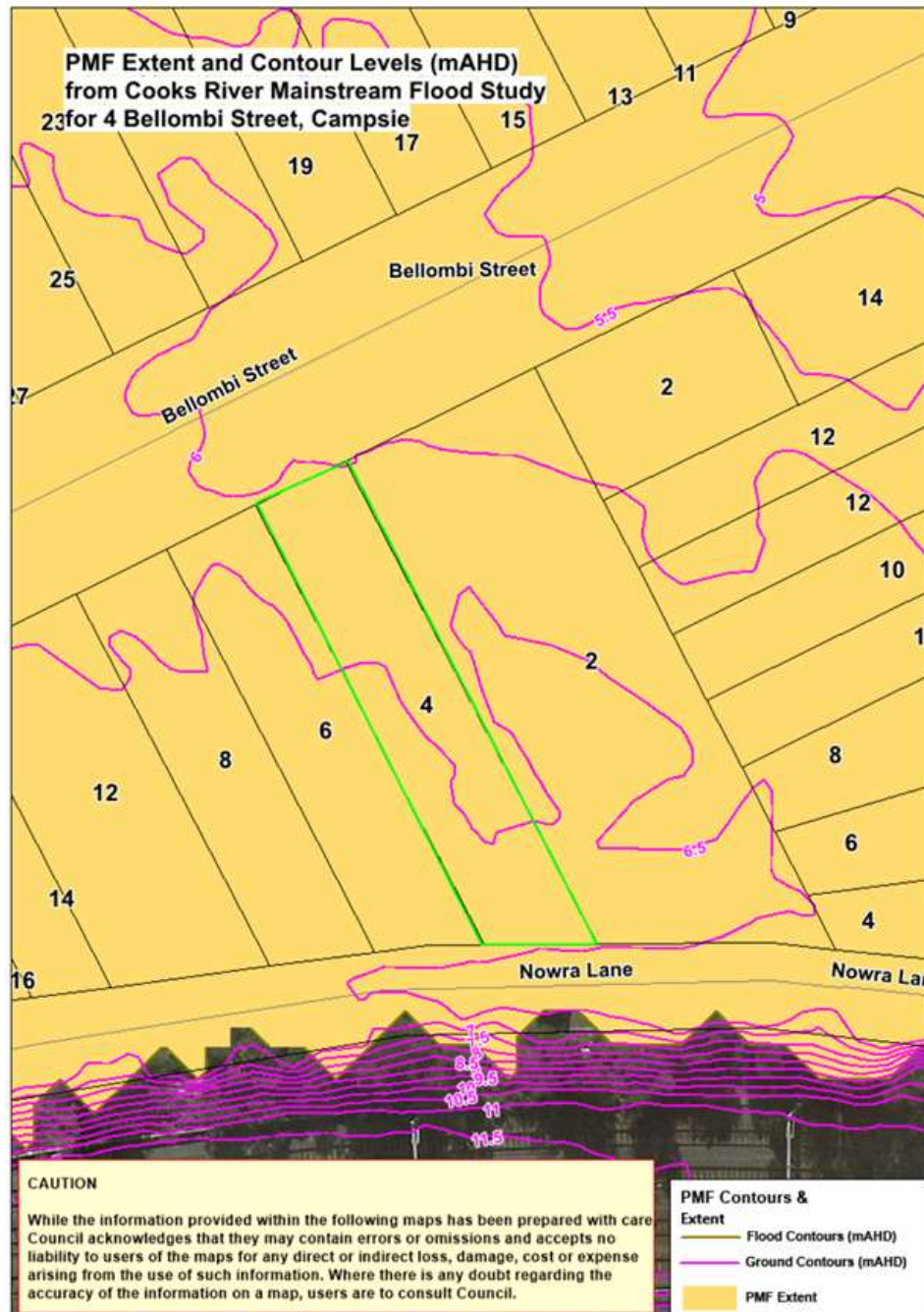


Existing Stormwater Network

The site is not serviced by any existing council stormwater system components. The existing drainage condition is based on a typical residential allotment draining towards the street.

Existing Flood Area

The site is not affected by mainstream or overland flooding for the 1% AEP (100-year ARI) or 5% AEP (20-year ARI) events. The site is identified within the Probable Maximum Flood (PMF) extent only.



Hydraulic Category and Flood Affection

The site falls within the PMF flood extent with no defined hazard classification. It is categorised as low flood risk as it is not impacted under the 1% AEP conditions.

Property Levels

Description	Minimum (m AHD)	Maximum (m AHD)
Approximate Ground Level	6.00	6.50

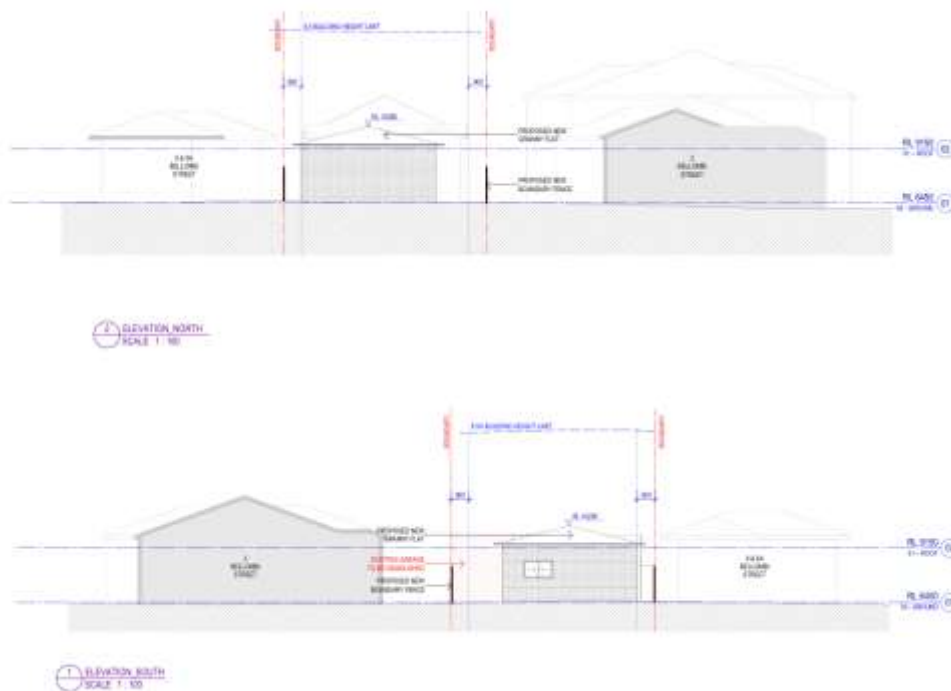
Flooding Levels

Stormwater Catchment Flooding from Cooks River Mainstream Flood Study 2009.

Flood Event	Minimum Level (m AHD)	Maximum Level (m AHD)
5% AEP (20 year ARI)	N/A	N/A
1% AEP (100 year ARI)	N/A	N/A
PMF (Probable Maximum Flood)	7.60	7.60

Proposed Use and Development

The proposed development consists of a new residential dwelling and ancillary works, including a stormwater drainage system that drains via a charged line to the street gutter.



3. Flood Risk Assessment

3.1 Site Flood Affection

Flood Levels and Data

The council-provided Stormwater System Report (Ref: WP-SIAONL-969/2025) confirms that no 1% or 5% AEP flood levels apply. The only relevant level is the PMF, which is identified at RL 7.60 m AHD.

The subject site at 4 Bellombi Street, Campsie (Lot 3 DP 304408) is classified as being within a **Low Flood Risk Precinct**. This classification is based on council's flood data, which confirms that the property is not affected by mainstream or overland flooding in the 1% AEP (100-year ARI) or 5% AEP events. The only applicable flood level is the **Probable Maximum Flood (PMF)**, with a peak of **RL 7.60 m AHD**, which defines the extent of the broader floodplain but does not impose development restrictions for standard residential use. As the site does not fall within any mapped flood storage area, floodway, or high hazard zone, and there are no evacuation difficulties identified, it meets the criteria outlined in the NSW Floodplain Development Manual (2005) for low risk land.

3.2 Safe Evacuation Area

The subject site is not affected by overland or mainstream flooding in the 1% AEP event, and therefore evacuation during typical flood scenarios is not anticipated. However, the site frontages to Bellombi Street and Nowra Lane are affected by the Probable Maximum Flood (PMF) extent. In such rare and extreme flood events, residents are advised to shelter-in-place within the dwelling, above the PMF level where possible. Due to the absence of a defined safe external evacuation route during PMF, emergency planning should prioritise staying indoors, monitoring weather warnings, and following SES guidance.

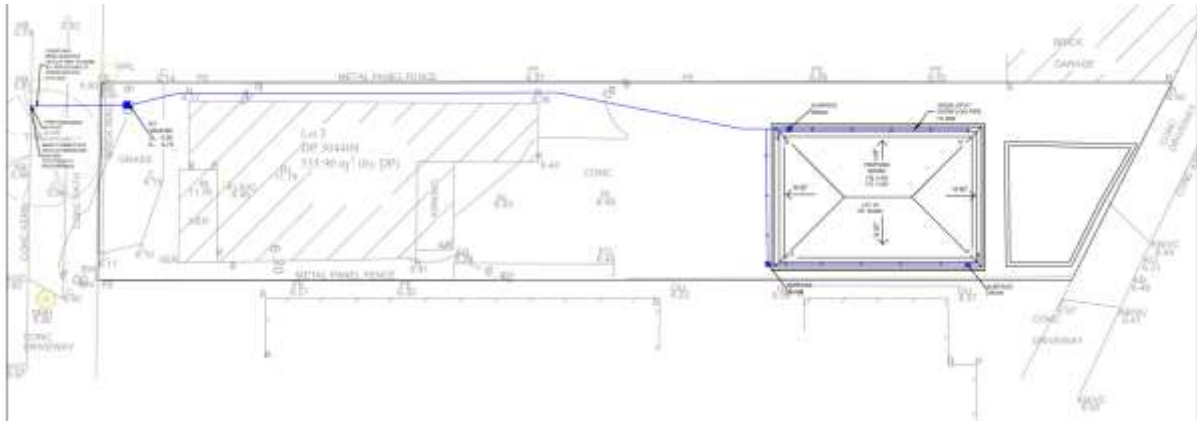
4. Proposed Stormwater Network

The proposed stormwater system, designed by SNIP Consulting Engineers (Drawing No. SCE-25-107), utilises a charged system to convey roof and surface runoff to a kerb adaptor at the street front. The system includes:

- Grated pits for surface collection
- Charged uPVC lines
- Compliance with AS/NZS 3500.3

4.1 Development within the Flood Area

The site is not located within a defined flood storage or overland flow path. The proposed works do not encroach upon or obstruct any hydraulic conveyance routes.



5. Development Controls Compliance

The proposed development complies with Canterbury-Bankstown DCP 2023 Chapter 2.2 (Flood Risk Management), noting:

- PMF flood level is not exceeded by habitable floors
- The development does not involve basement or underground levels
- No encroachment upon floodways or hydraulic hazard areas

6. Conclusion and Recommendations

Key Findings:

- The subject site is not affected by 1% or 5% AEP floods.
- PMF level of RL 7.60 m AHD is above current and proposed ground levels.
- The proposed dwelling is outside any flood storage or flow path.

Recommendations:

- Consider using flood-compatible materials below RL 7.60 m AHD as precaution.
- No further flood impact mitigation is required.
- Proceed with construction in accordance with the certified stormwater plan.

7. Attachments:

- Stormwater System Report (WP-SIAONL-969/2025)
- Planning Certificate 10.7
- SNIP Consulting Engineers Stormwater Design Plan (SCE-25-107)



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council@cbc.city.nsw.gov.au

CITY OF CANTERBURY BANKSTOWN

To: Mark Zhang
1610/168 Walker St, NORTH SYDNEY NSW 2060

STORMWATER SYSTEM REPORT

Property Address	4 Bellomby Street Campsie 2194
Lot/Section/Deposited Plan	Lot 3 DP 304408
Date Prepared:	26/05/2025
Ref:	WP-SIAONL-969/2025
Prepared By:	Pushpa Goonetilleke
Development Type:	Detached Dwelling (single house)

FLOOD STUDY REQUIRED

No

This Stormwater System Report (SSR) provides flood and stormwater information about the property.

The information in this report should be reviewed by those who are knowledgeable in flooding or have a technical requirement to understand more about Council's building development controls (such as surveyors, builders, certifiers, architects and engineers).

Stormwater Infrastructure

The site is not affected by the Council stormwater system components.

Property Levels

Description	Minimum (m AHD)	Maximum (m AHD)
Approximate Ground Level	6.00	6.50

Flooding Levels

Stormwater Catchment Flooding from Cooks River Mainstream Flood Study 2009.

Flood Event	Minimum Level (m AHD)	Maximum Level (m AHD)
5% AEP (20 year ARI)	N/A	N/A
1% AEP (100 year ARI)	N/A	N/A
PMF (Probable Maximum Flood)	7.60	7.60

Terms and Definitions

Annual Exceedance Probability (AEP)	The probability of a flood event of a given size occurring in any one year, usually expressed as a percentage annual chance.
Average Recurrence Interval (ARI):	Similar to AEP. The long-term average number of years between the occurrence of a flood as big as (or larger than) the selected event.
metres above Australian Height Datum (m AHD)	The reference level for defining ground levels in Australia. The level of 0.0m AHD is approximately mean sea level.
Maximum and Minimum Ground Level –	Highest and lowest ground levels on the property based on available ground level information. A Registered Surveyor can confirm exact ground levels.
Probable Maximum Flood	An extreme flood deemed to be the largest flood that could conceivably occur at a specific location The PMF defines the extent of flood prone land (i.e. the floodplain).

Further Information

For further information on flood-related development controls which may be applicable to this property, refer to the following guidelines:

- Canterbury Bankstown Development Control Plan (2023, chapter 2.2 Flood risk Management)
- Canterbury Bankstown Development Engineering Standards (2023)
- Council Standard Drawings.

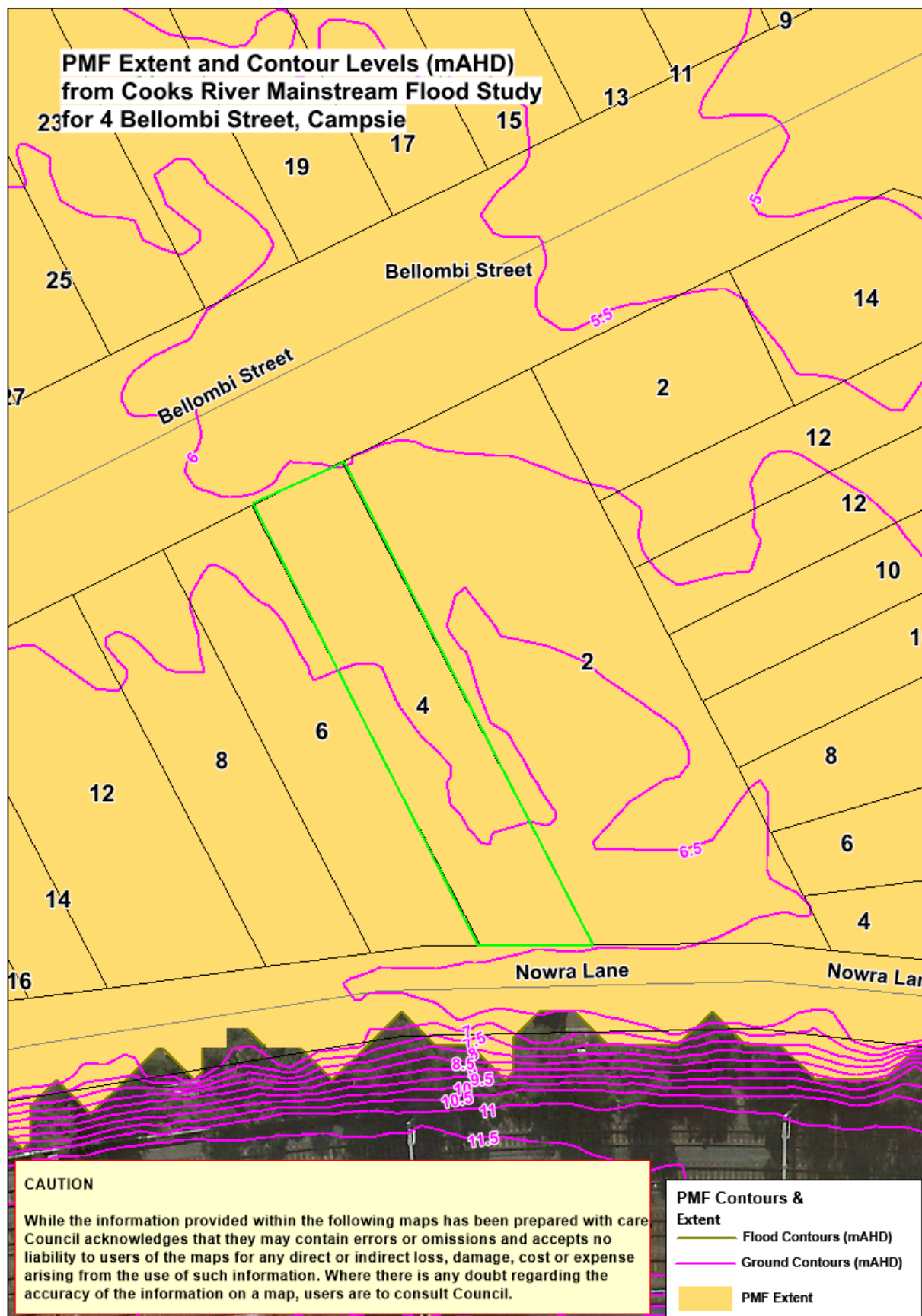
Disclaimer

The information contained in this document is not endorsed by the Council as without error, omission or mis-description. Council accordingly expressly disclaims all and any liability and responsibility in respect of loss, damage or injury to person or property arising from anything done or omitted to be done by any person in reliance, whether wholly or in part, upon any part of this information.

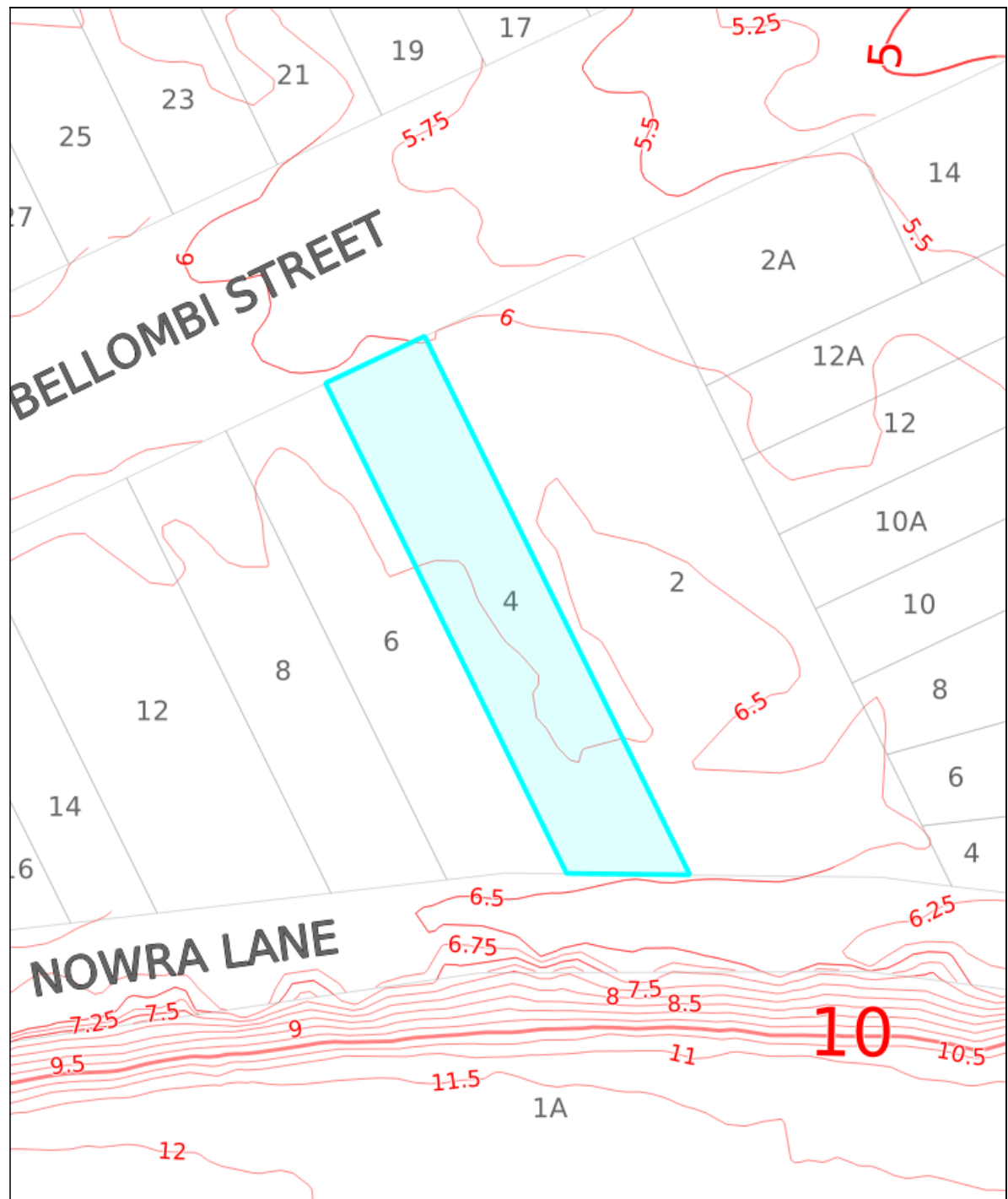
Any person having regard to the information contained in this document is encouraged to seek, at their discretion, all other sources of information on the subject matter as they consider appropriate, which may include local knowledge and/or professional advice.

ATTACHMENTS**For PMF**

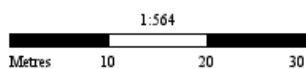
1. Flood Contours & Flood extent Map
2. GIS Map (from Council's Data)
3. Aerial Map (from Council 's Data)



GIS Map for 4 Bellombi Street, Campsie



DATE: May 26, 2025, 2:51 PM



PREPARED BY: Pushpa G

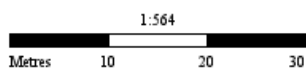
Whilst all care has been taken in the preparation of this base map, Council accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for graphical presentation only.



Aerial Map for 4 Bellombi Street, Campsie



DATE: May 26, 2025, 2:52 PM



PREPARED BY: Pushpa G

Whilst all care has been taken in the preparation of this base map, Council accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for graphical presentation only.



LEGEND

-  Canterbury Bankstown LGA
-  Surrounding LGA's

Jetty

-  Jetty

Parcel Frontage

-  Parcel Frontage

Parcel Boundary

-  Parcel Boundary

Parcel Easements (Line)

-  Parcel Easements (Line)

Parcel Easements (Polygon)

-  Parcel Easements (Polygon)

Contours (Major 10m)

-  Contours (Major 10m)

Contours (Intermediate 5m)

-  Contours (Intermediate 5m)

Contours (Minor <5m)

-  Contours (Minor <5m)

Drains

-  Drains

Pits

-  Pits

Sydney Water Stormwater Channels

BELLOMBIS10.7 MARK:147347

Mark Zhang
1610/168 Walker St
NORTH SYDNEY NSW 2060

PLANNING CERTIFICATE

Section 10.7(2) of the Environmental Planning and Assessment Act 1979

Certificate No: 20251810
14 March 2025**Land which Certificate is issued for:****Lot 3 DP 304408****4 Bellombi Street, CAMPSIE NSW 2194**

Note: The information in this certificate is provided pursuant to Section 10.7(2) and (5) of the Environmental Planning and Assessment Act 1979 (the Act), and as prescribed by Schedule 2 of the Environmental Planning and Assessment Regulation 2021 (the Regulation). The information has been extracted from Council's records, as it existed at the date listed on the certificate.

Planning certificates are issued on the Strata Plan, not the lot number. The information on a planning certificate is the same for all the lots in the same Strata Plan property. Your Strata may or may not have a Lot 0. A Planning Certificate issued for Lot 0 has the same information as other lots in that same Strata Plan property.

Please note that the accuracy of the information contained within the certificate may change after the date of this certificate due to changes in Legislation, planning controls or the environment of the land.

**CAMILLE LATTOUF
MANAGER CITY STRATEGY AND DESIGN**

**INFORMATION PROVIDED UNDER SECTION 10.7 (2)
OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979.**

1 ENVIRONMENTAL PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS

1.1 Relevant Planning Instruments

Canterbury Bankstown Local Environmental Plan 2023

1.2 Relevant Development Control Plans

Canterbury Bankstown Development Control Plan 2023

1.3 State Environmental Planning Policies

Note: The following information indicates those State Environmental Planning Policies (SEPP) which may apply to the subject land. A summary explanation of each SEPP can be sourced from the Department of Planning, Housing and Infrastructure (DPHI) website at <https://www.planning.nsw.gov.au>. The full wording of each SEPP can also be accessed via the NSW Legislation website at <https://legislation.nsw.gov.au>.

State Environmental Planning Policies:

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2: Vegetation in non-rural areas

Chapter 3: Koala habitat protection 2020

Chapter 6: Bushland in urban areas

Chapter 7: Canal estate development

Chapter 10: Sydney Harbour Catchment

Chapter 11: Georges River Catchment

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

State Environmental Planning Policy (Housing) 2021

State Environmental Planning Policy (Industry and Employment) 2021

Chapter 3: Advertising and Signage

State Environmental Planning Policy (Planning Systems) 2021

Chapter 2: State and regional development

Chapter 3: Aboriginal Land

Chapter 4: Concurrences and consents

State Environmental Planning Policy (Precincts - Central River City) 2021

State Environmental Planning Policy (Precincts - Eastern Harbour City) 2021

State Environmental Planning Policy (Precincts - Regional) 2021

State Environmental Planning Policy (Precincts - Western Parkland City) 2021

State Environmental Planning Policy (Primary Production) 2021

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 2: Coastal Management

Chapter 3: Hazardous and offensive development

Chapter 4: Remediation of Land

State Environmental Planning Policy (Resources and Energy) 2021

Chapter 2: Mining, petroleum production and extractive industries

Chapter 3: Extractive industries in Sydney area

State Environmental Planning Policy (Sustainable Buildings) 2022

State Environmental Planning Policy (Transport and Infrastructure) 2021

Chapter 2: Infrastructure

Chapter 3: Educational establishments and child care facilities

Chapter 4: Major infrastructure corridors

1.4 Proposed Environmental Planning Instruments (including any Planning Proposals) that are or have been the subject of community consultation or on public exhibition under the Act

Draft SEPPs: Draft State Environmental Planning Policy (Cultural).

Planning proposals: Not applicable.

2 **Zoning and Land Use Under Relevant Planning Instruments**

Note: The information below will assist in determining how the subject land may be developed. It is recommended that you read this section in conjunction with a full copy of any relevant environmental planning instrument as there may be additional provisions that affect how the land may be developed.

2.1 **Land Use Zone**

Canterbury Bankstown Local Environmental Plan 2023

Date effective from

23 June 2023

Land Use Zone

ZONE R3 MEDIUM DENSITY RESIDENTIAL

1. Permitted without consent

Home occupations

2. Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Car parks; Centre-based child care facilities; Community facilities; Dwelling houses; Early education and care facilities; Environmental facilities; Environmental protection works; Exhibition homes; Flood mitigation works; Group homes; Home businesses; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Seniors housing; Tank-based aquaculture

3. Prohibited

Any development not specified in item 1 or 2

2.2 **Additional Permitted Uses**

The land, or part of land is affected by Schedule 1 Additional Permitted Uses of the Canterbury Bankstown Local Environmental Plan 2023. For further information visit <https://legislation.nsw.gov.au/> or contact Council on 02 9707 9000.

Note: Due to the subdivision and/or consolidation of land, the Lot and Deposited Plans referenced in Schedule 1 of the relevant Local Environmental Plan may change. It is your responsibility to confirm the applicability of Additional Permitted Uses before undertaking any development on the site that relies upon provisions in Schedule 1.

2.3 **Minimum Land Dimensions for the Erection of a Dwelling House**

For land zoned R2, R3 or R4 and on land identified as 'Area 2' on the Clause Application Map within the Canterbury Bankstown Local Environmental Plan 2023, the minimum lot size required for dwelling houses on a battle-axe lot or other lot with an access handle is 600m². For land without an access handle, please refer to the Minimum Lot Sizes Map of the Local Environmental Plan for minimum lot sizes for dwelling houses.

2.4 **Area of Outstanding Biodiversity Value**

Not applicable

2.5 **Conservation Area and/or Environmental Heritage**

The land is not affected by a heritage item or within a heritage conservation area under the relevant Principal Environmental Planning Instrument.

3 **Contribution Plans**

Canterbury Bankstown Local Infrastructure Contributions Plan 2022

This Development Contributions Plan was prepared and adopted under the Environmental Planning and Assessment Act, 1979 and Environmental Planning and Assessment Regulation 2021.

The Plan allows the Council or other consent authority to levy contributions on selected new development to pay for local public infrastructure (such as parks, roads and libraries), required to meet the needs of our growing and changing City. A copy of the development contributions plan can be viewed on Council's website.

Housing and Productivity Contribution

The Housing and Productivity Contribution applies to development applications for new residential, commercial and industrial development and is collected by Council on behalf of the NSW State Government. The Contributions will help deliver essential State infrastructure such as schools, hospitals, major roads, public transport infrastructure and regional open space.

The subject land is within Greater Sydney to which the Environmental Planning and Assessment (Housing and Productivity Contribution) Order 2023 applies. For more information visit <https://www.planning.nsw.gov.au/policy-and-legislation/infrastructure/infrastructure-funding/improving-the-infrastructure-contributions-system>

4

Complying Development

Whether or not the land is land on which complying development may be carried out under each of the Codes for complying development because of the provisions of clauses 1.17A(1) (c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 and, if no complying development may be carried out on that land under that Policy, the reasons why complying development may not be carried out on that land.

Note that in order for complying development to be able to be carried out, it must be permissible in the relevant zone in the first place.

Housing Code (if in a residential zone)	Yes
Rural Housing Code (if in a rural residential zone)	Not applicable
Low Rise Housing Diversity Code	Yes
Housing Alterations Code	Yes
General Development Code	Yes
Greenfield Housing Code	Not applicable
Inland Code	Not applicable
Commercial and Industrial (New Building and Alterations) Code	Yes
Commercial and Industrial Alterations Code	Yes
Container Recycling Facilities Code	Yes
Demolition Code	Yes
Subdivision Code	Yes
Fire Safety Code	Yes

**Note: The reason(s) why complying development may not be carried may only apply to part of, or all of, the property. For more information go to the NSW ePlanning Spatial Viewer and search the property address <https://www.planningportal.nsw.gov.au/spatialviewer/#/find-a-property/address>.*

4.1

Variation of Complying Development Codes

A variation to the Complying Development Code applies to certain lots in Zone R2 Low Density Residential areas which are no more than 450m² in area and are located in land to which the former Bankstown Local

Environmental Plan 2015 applied. For further information on the variation to the Complying Development Code, please refer to State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 at the NSW Legislation website at <https://legislation.nsw.gov.au/>

5 Exempt Development

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 because of the provisions of clauses 1.16(1)(b1)-(d) or 1.16A, the development (new or alterations proposed to the existing structures) must meet the following criteria:

General Exempt Development Code

Yes

Advertising and Signage Exempt Development Code

Yes

Temporary Uses and Structures Exempt Development Code

Yes

Note: Despite the above, if the exempt development meets the requirements and standards specified by the State Environmental Planning Policy (Exempt and Complying Development) 2008 and that development (a) has been granted an exemption under section 57(2) of the Heritage Act 1977, or (b) is subject to an exemption under section 57(1A) or (3) of that Act, the development is exempt development. For further information refer to the Heritage NSW website at <https://www.heritage.nsw.gov.au/>.

Important Disclaimer: Clause 4 and 5 of this Certificate only contain information in respect of that required by clause 4 and 5 of Schedule 2 of the Environmental Planning and Assessment Regulation 2021, in relation to Complying and Exempt Development under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008. Other provisions contained in the SEPP, including but not limited to, minimum allotment size requirements, specified development standards or any other general exclusions, may preclude Exempt or Complying Development under the SEPP from being able to be carried out. You will need to refer to the SEPP for complete details. It is your responsibility to ensure that you comply with all other general requirements of the SEPP. Failure to comply with these provisions may mean that any Complying Development Certificate issued, or work carried out as Exempt Development under the provisions of the SEPP is invalid.

6 Affected Building Notices and Building Product Rectification Orders

Not applicable

7 Land Reserved for Acquisition

There is no environmental planning instrument, or proposed environmental planning instrument, applying to the land that makes provision for the acquisition of the land (or any part thereof) by a public authority, as referred to in Section 3.15 of the Environmental Planning and Assessment Act 1979.

8 Road Widening and Road Realignment

Whether or not the land is affected by a road widening or road realignment proposal under Division 2 or Part 3 of the Roads Act 1993 or an environmental planning instrument:

The land is not affected by a road widening or road realignment proposal under Division 2 or Part 3 of the Roads Act 1993, or an environmental planning instrument.

Whether or not the land is affected by a road widening or road realignment proposal under any resolution of Council:

The land is not affected by a road widening or road realignment proposal under any resolution of Council.

9 Flooding

The land, or part of the land, is **within** the probable maximum flood (PMF) and **may be within** the flood planning area (FPA).

The land, or part of the land, is **subject** to flood related development controls.

You are advised to refer to the following:

- The relevant Development Control Plan (noted in Section 1.2 of this certificate) for further information on Council's approach to Flood Risk Management, and
- Frequently Asked Questions and details on the study relevant to your catchment area are available at Council's Floodplain Management webpage (<https://cb.city/flooding>).

NB: The FPA is the 1% Annual Exceedance Probability (AEP) plus generally a 0.5m freeboard or as outlined in relevant Development Control Plan. While your property is currently not identified within the 1% AEP flood extent mapping, it may fall within the FPA and need to accommodate freeboard to comply with the FPA requirements. Council is currently reviewing the extent of the FPA requirements in response to recent NSW Government changes.

10 Council and Other Public Authority Policies on Hazard Risk Restrictions

Whether or not the land is affected by a policy adopted by Council or adopted by any other public authority (and notified to the Council for the express purpose of its adoption by that authority being referred to) that restricts the development of the land because of the likelihood of:

Land Slip

The land is not affected by a policy restriction relating to landslip

Tidal Inundation

The land is not affected by a policy restriction relating to tidal inundation

Subsidence

The land is not affected by a policy restriction relating to subsidence

Acid Sulfate Soils

The land is affected by the Acid Sulfate Soils Assessment Guidelines and Acid Sulfate Soils Planning Guidelines adopted by the Department of Planning and Environment and the NSW Office of Environment & Heritage and notified to the Council that restricts the development of the land because of the likelihood of acid sulfate soils.

Contamination

Council has adopted by resolution a policy concerning the management of contaminated land. The policy applies to all land in the Canterbury-Bankstown Local Government Area and will restrict development of the land if the circumstances set out in the policy prevail. A copy of the policy is available on Council's website at www.cbcity.nsw.gov.au.

Council is not aware of the land being affected by any matters as prescribed by Section 59 (2) of the *Contaminated Land Management Act 1997*.

Please refer to the *NSW Environment Protection Authority (EPA)* for more information.

Salinity

Not applicable

Coastal Hazards

Not applicable

Sea Level Rise

Not applicable

Unhealthy Building Land

The land is not affected by a policy restriction relating to Unhealthy Building Land.

Any Other Risk (including Aircraft Noise)

Not applicable

- 11 **Bush Fire Prone Land**
Not applicable
- 12 **Loose-Fill Asbestos Ceiling Insulation**
Not applicable
- 13 **Mine Subsidence**
The subject land is not within a mine subsidence district within the meaning of Section 20 of the *Coal Mine Subsidence Compensation Act 2017*.
- 14 **Paper Subdivision Information**
Not applicable
- 15 **Property Vegetation Plans**
Not applicable
- 16 **Biodiversity Stewardship Sites**
Not applicable
- 17 **Biodiversity Certified Land**
Not applicable
- 18 **Orders Under Trees (Disputes Between Neighbours) Act 2006**
Not applicable
- 19 **Annual Charges Under Local Government Act 1993 For Coastal Protection Services That Relate to Existing Coastal Protection Works**
Not applicable
- 20 **Western Sydney Aerotropolis**
Not applicable
- 21 **Development Consent Conditions for Seniors Housing**
Not applicable
- 22 **Site Compatibility Certificates and Development Consent Conditions For Affordable Rental Housing**
Not applicable
- 23 **Water or sewerage services**
Council has not received a notice from a public water utility that water or sewerage services are, or are to be, provided to the land under the [Water Industry Competition Act 2006](#), a statement to that effect.

Note— A public water utility may not be the provider of some or all of the services to the land. If a water or sewerage service is provided to the land by a licensee under the [Water Industry Competition Act 2006](#), a contract for the service will be deemed to have been entered into between the licensee and the owner of the land. A register relating to approvals and licences necessary for the provision of water or sewerage services under the [Water Industry Competition Act 2006](#) is maintained by the Independent Pricing and Regulatory Tribunal and provides information about the areas serviced, or to be serviced, under that Act. Purchasers should check the register to understand who will service the property. Outstanding charges for water or sewerage services provided under the [Water Industry Competition Act 2006](#) become the responsibility of the purchaser.

STORMWATER DRAINAGE PLAN

LOT 3 DP 304408

4 BELLOMBI STREET, CAMPSIE NSW 2194

DRAINAGE NOTES

PIPE SIZE:

THE MINIMUM PIPE SIZE SHALL BE:

- 100mm DIA WHERE THE LINE ONLY RECEIVES ROOFWATER RUNOFF; OR
- 100mm DIA WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS ON THE PROPERTY

THE MINIMUM PIPE VELOCITY SHOULD BE 0.6 m/s AND A MAXIMUM PIPE VELOCITY OF 6.0 m/s DURING THE DESIGN STORM.

PIPE GRADE:
THE MINIMUM PIPE GRADE SHALL BE:

- 1.0% FOR PIPES LESS THAN 225mm DIA
- 0.5% FOR ALL LARGER PIPES

PIPES WITH A GRADIENT GREATER THAN 20% WILL REQUIRE ANCHOR BLOCKS AT THE TOP AND BOTTOM OF THE INCLINED SECTION; AND AT INTERVALS NOT EXCEEDING 3.0m

ANCHOR BLOCKS ARE DESIGNED ACCORDING TO CLAUSE 3.5.3 OF AS3500.3-1990

DEPTH OF COVER FOR PVC PIPES:
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:

LOCATION	MINIMUM COVER
NOT SUBJECT TO VEHICLE LOADING	100mm SINGLE RESIDENTIAL 300mm ALL OTHER DEVELOPMENTS
SUBJECT TO VEHICLE LOADING	450mm WHERE NOT IN A ROAD
UNDER A SEALED ROAD	600mm
UNSEALED ROAD	750mm
PAVED DRIVEWAY	100mm PLUS DEPTH OF CONCRETE

SEE AS2032 INSTALLATION OF UPVC PIPES FOR FURTHER INFORMATION.

CONCRETE PIPE COVER SHALL BE IN ACCORDANCE WITH AS3725-1989 LOADS ON BURIED CONCRETE PIPES, HOWEVER A MINIMUM COVER OF 450mm WILL APPLY.

WHERE INSUFFICIENT COVER IS PROVIDED, THE PIPE SHALL BE COVERED AT LEAST 50mm THICK OVERLAY AND SHALL THEN BE PAVED WITH AT LEAST:

- 150mm REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICLE TRAFFIC;
- 75mm THICKNESS OF BRICK OR 100mm OF CONCRETE PAVING WHERE SUBJECT TO LIGHT VEHICLE TRAFFIC; OR
- 50mm THICK BRICK OR CONCRETE PAVING WHERE NOT SUBJECT TO VEHICLE TRAFFIC.

CONNECTIONS TO STORMWATER DRAINS UNDER BUILDINGS:
SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 3.10 OF AS3500.3-1990

ABOVE GROUND PIPEWORK:
SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 6 OF AS3500.3-1990

GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BYBUILDER/ARCHITECT AT TIME OF CONSTRUCTION.

2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.

3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.

4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.

5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.

6. THESE DRAWINGS DEPICT THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DO NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.

7. ALL STORMWATER DRAINAGE PIPES ARE TO BE uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.

8. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.

9. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.

10. THIS PLAN IS THE PROPERTY OF THE SNIP CONSULTING ENGINEERS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

PLAN NOTES

1. ROOF DRAINAGE NOTE: AS 3500 ROOF DRAINAGE REQUIRES EAVES GUTTERS TO BE SIZED FOR 20 YEAR 5 MIN. STORM. FOR EAVES GUTTERS, AS 3500.3:2003 THEN HAS THE FOLLOWING REQUIREMENTS:

1.1. FOR TYPICAL STANDARD QUAD GUTTER WITH Ae = 6000mm² AND GUTTER SLOPE 1:500 AND STEEPER, THIS REQUIRES ONE DOWNPIPE PER 35m² ROOF AREA.

1.2. DOWNPIPES TO BE MINIMUM 90mm DIA. OR 100 x 50mm FOR GUTTERS SLOPE 1:500 AND STEPPER.

1.3. OVERFLOW METHOD TO FIGURE G1 OF AS 3500.3:2003 IT IS THE RESPONSIBILITY OF THE PLUMBER AND / OR BUILDER TO COMPLY WITH THIS. THIS DRAWING SHOWS PRELIMINARY LOCATIONS / NUMBERS OF DOWNPIPES ONLY WHICH ARE TO BE VERIFIED BY BUILDER / PLUMBER

2. TREE PRESERVATION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS

3. ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003

4. THIS DRAWING IS NOT TO BE USED FOR SET-OUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS

5. LOCATION OF SURFACE STORMWATER GRATED INLET PITS MAY BE VARIED OR NEW PITS INSTALLED AT THE CONSTRUCTION STAGE PROVIDED DESIGN INTENT OF THIS DRAWING IS MAINTAINED

6. EXTRA SURFACE DRAINS OR PITS TO BE ADDED ON-SITE BY PLUMBER OR BUILDER TO CATCH STORMWATER IN LOW AND WATER PONDING AREAS AS PER SITE'S FINAL GRADES. SUBSOIL DRAINAGE TO BE ADDED AT THE BASE OF RETAINING WALLS AS PER STRUCTURE ENGINEERS/ STANDARD SPECIFICATIONS. ALL ABOVE EXTRA DRAINAGE TO BE CONNECTED TO THE UNCHARGED SYSTEM ONLY

PIT SIZES AND DESIGN:

DEPTH (mm)	MINIMUM PIT SIZE (mm)
UP TO 450mm	450X450
450mm TO 600mm	600X600
600mm TO 900mm	600X900
900mm TO 1500mm	900X900 (WITH STEP IRONS)
1500mm TO 2000mm	1200X1200 (WITH STEP IRONS)

ALL PIPES SHOULD BE CUT FLUSH WITH THE WALL OF THE PIT.

PITS GREATER THAN 600mm DEEP SHALL HAVE A MINIMUM ACCESS OPENING OF 600 x 600mm

THE GRATED COVERS OF PITS LARGER THAN 600 x 600mm ARE TO BE HINGED TO PREVENT THE GRATE FROM FALLING INTO THE PIT.

THE BASE OF THE DRAINAGE PITS SHOULD BE AT THE SAME LEVEL AS THE INVERT OF THE OUTLET PIPE. RAINWATER SHOULD NOT BE PERMITTED TO POND WITHIN THE STORMWATER SYSTEM

· TRENCH DRAINS:
CONTINUOUS TRENCH DRAINS ARE TO BE OF WIDTH NOT LESS THAN 150mm AND DEPTH NOT LESS THAN 100mm. THE BARS OF THE GRATING ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.

· STEP IRONS:
PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.

· PVC PITS:
PVC PITS WILL ONLY BE PERMITTED IF THEY ARE NOT A GREATER SIZE THAN 450 x 450mm (MAXIMUM DEPTH 450mm) AND ARE HEAVY DUTY

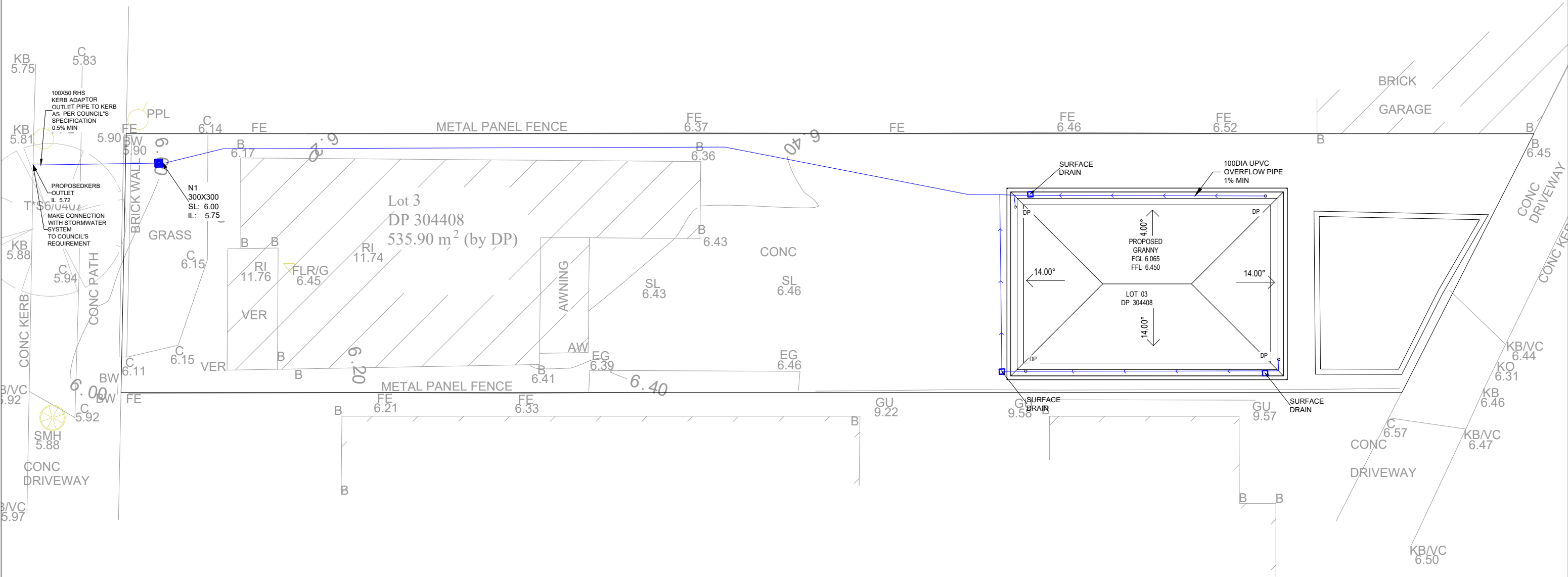
· IN-SITU PITS:
IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CLAUSE 4.6.3 OF AS3500.4-1990. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.

· GRATES:
GRATES ARE TO BE GALVANISED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

ADDITIONAL NOTE

1. ALL WORKS ARE TO BE IN ACCORDANCE WITH COUNCILS ENGINEERING GUIDE FOR DEVELOPMENT AND CIVIL WORKS AND SPECIFICATION.

						DRAFTED BY  CONTRIVE CONSULTANTS PTY LTD SUBDIVISION AND UTILITY CONSULTANTS SUITE 3301, 18-24 ADELPHI STREET ROUSE HILL NSW 2155 M: 0432 400 938 E: info@pitanpipe.com.au REVIEWED AND CERTIFIED BY  SNIP CONSULTING ENGINEERS PTY LTD CIVIL CONSULTING ENGINEERS ROPES CROSSING, NSW 2760	APPROVED: Mr RiyazKhan Pathan MELBOURNE CPENG NER  Signature  Membership No. 3895292 Registered in the NER in the area of practice of Civil DATUM: AHD NORTH: 	THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE DEVELOPER & THE REPRODUCTION OF ANY PART WITHOUT THE PRIOR WRITTEN CONSENT OF THE DEVELOPER IS A VIOLATION OF APPLICABLE LAWS. IN NO EVENT SHALL THE DEVELOPER BE HELD LIABLE FOR SPECIAL COLLATERAL, INCIDENTAL OR CONSEQUENTIAL LIABILITY IN CONNECTION WITH THE USE OF THIS DIGITAL DATA ONCE RELEASED FROM THE DEVELOPER'S OFFICE. THIS DRAWING IS TO BE READ & UNDERSTOOD IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL & / OR ANY OTHER CONSULTANT'S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO THE START OF ANY WORKS AND FOR ITS DURATION. DRAWING No: SCE-25-107 	SITE ADDRESS: LOT 3 DP 304408 4 BELLOMBI STREET, CAMPSIE NSW 2194	STATUS: ISSUED FOR D.A OR C.C.									
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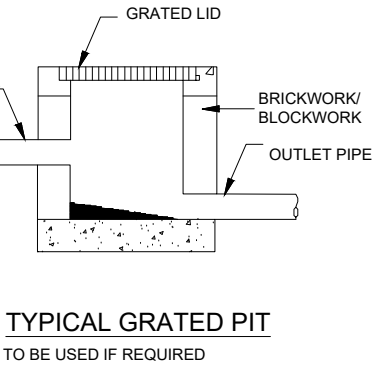
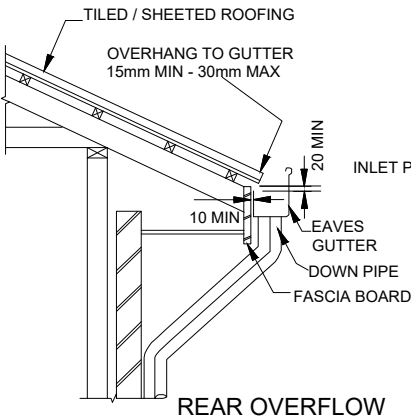
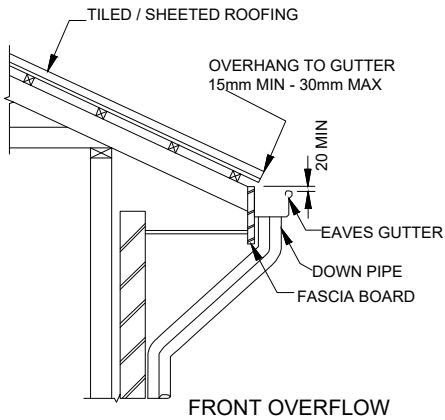
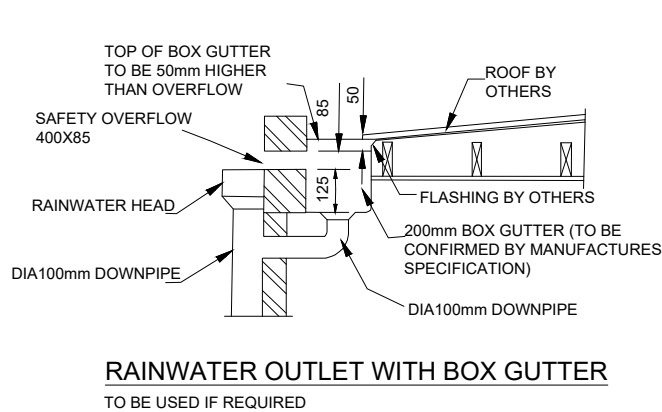
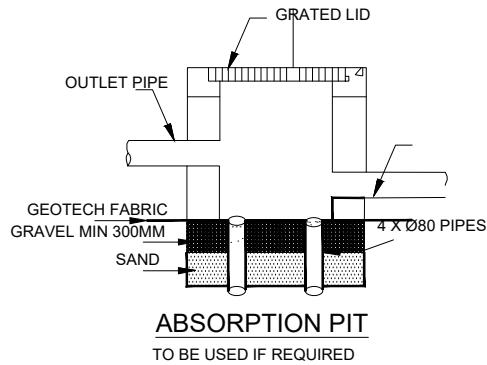
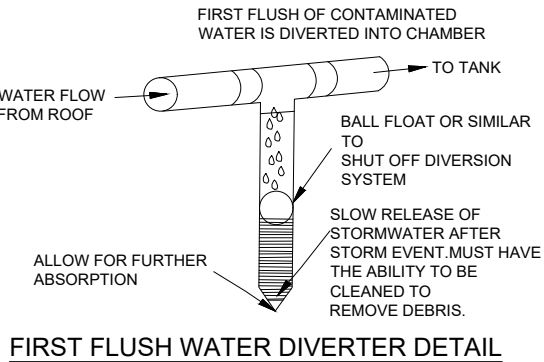
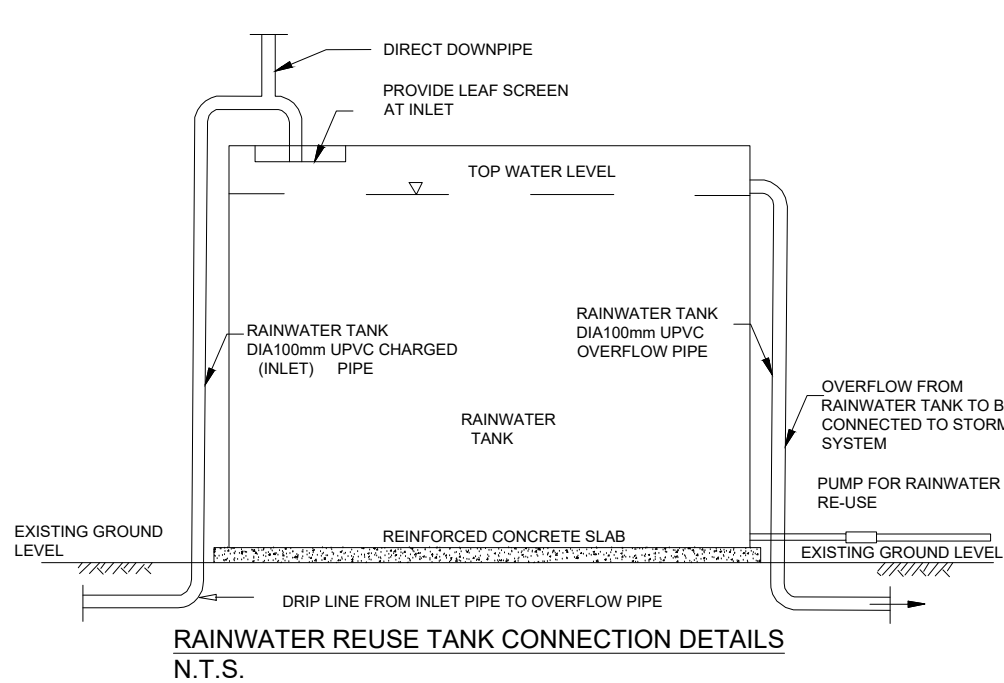
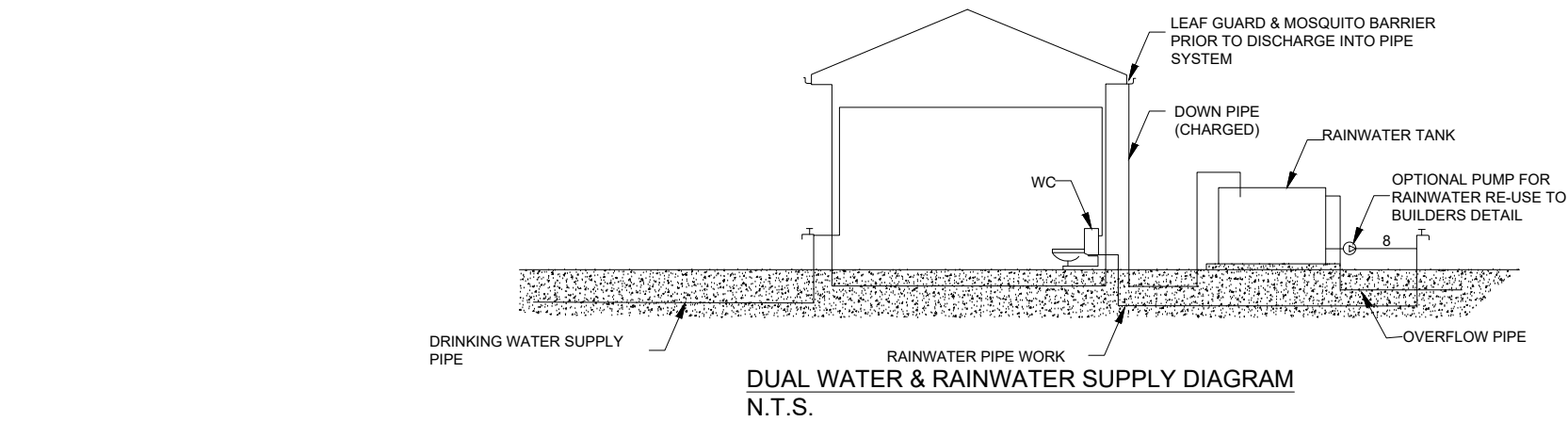
STORMWATER DRAINAGE LAYOUT PLAN:						STORMWATER LEGEND																																																																																																													
NOTES: 1. DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURALS 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SETOUT, LEVELS, FALL, ETC.						EXISTING RETAINING WALL				GRATED SURFACE INLET PIT (GSIP)				GRATED TRENCH DRAIN				TOP OF KERB		TK																																																																																															
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- ALL SURFACE WATER TO BE DIRECTED TO STREET OR PROVIDE DRAINAGE PIT AND CONNECTED TO OVERFLOW AND EASEMENT /STREET - CARE TO BE TAKEN WHEN WORKING AROUND EXISTING SEWER, STORMWATER EASEMENT ETC. STRUCTURAL ENGINEERING ADVICE IS REQUIRED FOR SEWER PROTECTION AGAINST ADDITIONAL LOADING FROM NEW WORKS.						ELECTRICITY PILLAR				DOWN PIPE 100mm DIA. OR 100 x 50 RHS		DP ●		CHARGED STORMWATER PIPE				TOP LEVEL		TP LEVEL																																																																																															
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GENERAL INFORMATION:

- GENERAL NOTES:
1. THE DRAWING SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPE AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTION AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEERS BEFORE PROCEEDING WITH THE WORK.
 2. ALL DIMENSIONS ARE IN MILLIMETERS & ALL LEVELS ARE IN METERS UNLESS NOTED OTHERWISE.
 3. NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWING.
 4. EXISTING SERVICES LOCATIONS SHOWN INDICATIVE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORKS.
 5. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS. ALL EXTERNAL SLABS TO BE WATERPROOFED.
 6. DURING EXCAVATION WORK, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.
 7. ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS AND SPECIFICATION.
 8. EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICE PRIOR TO THE COMMENCEMENT OF WORK.
 9. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.
 10. ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
 11. ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS UNLESS DIRECTED OTHERWISE.
 12. CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.
 13. LOCATION OF DOWN PIPES AND FLOOR WASTES ARE INDICATIVE ONLY. DOWN PIPE AND FLOOR WASTE SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD.
 14. ANY DISCREPANCIES OR OMISSIONS SHALL BE REFEREED TO THE DESIGN ENGINEER FOR RESOLUTION.
 15. ALL PITS OR GRATES IN TRAFFICABLE AREAS TO BE HEAVY DUTY. ALL GRATES TO HAVE CHILD PROOF LOCKS.
 16. ALL GUTTERS WILL BE FILLED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWN PIPES.
 17. ENSURE ALL DRAINAGE WORKS ARE AWAY FROM TREE ROOTS.

- RAINWATER TANK INFORMATION:
1. RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 255 SQUARE METERS OF ROOF AREA.
 2. PROPOSED RAINWATER TANK SIZE AS PER BASIX.
 3. RAINWATER TANKS SHALL BE CONNECTED TO MAINS WATER SUPPLY AS BACKUP.
 4. PUMPS SHALL PROVIDE MINIMUM 150kpa PRESSURE.
 5. RAINWATER TANK TO BE CONNECTED AS PER BASIX REQUIREMENTS.
 6. A SIGN TO BE INSTALLED STATING 'NOT FOR HUMAN CONSUMPTION'.
 7. TANKS TO BE PLUMBED TO TOP UP FROM THE POTABLE WATER SUPPLY AND AN AIR GAP MAINTAINED ABOVE THE OVERFLOW IN THE TANK.
 8. NO DIRECT CROSS-CONNECTION WITH THE SYDNEY WATER POTABLE SUPPLY AND AN AIR GAP MAINTAINED ABOVE THE OVERFLOW IN THE TANK.
 9. ANY OPENINGS SHALL BE MESHED OR SEALED TO PREVENT MOSQUITOS BREEDING AND ENTRY OF ANIMALS OR FOREIGN MATTER.
 10. RAINWATER TANKS TO BE CLEANED OUT EVERY 6 MONTHS.
 11. ALL DOWN PIPES TO BE SEALED TO UNDERSIDE OF FIRST FLOOR GUTTER AS DRAINAGE SYSTEM IS CHARGED TO FACILITATE PROPOSED ABOVE GROUND REUSE TANK.
 12. THIS SYSTEM TO BE DESIGNED WITH A 'FIRST FLUSH' DIVERSION TO REMOVE ROOF CONTAMINANTS.
 13. REUSE WATER TO BE DIRECTED TO THE FOLLOWING:
 - A. MINIMUM 1 OUTDOOR GARDEN TAP
 - B. ALL CISTERNS (TOILETS)
 - C. COLD WATER SERVICE TO THE CLOTHES WASHER.

- DRAINAGE REQUIREMENTS:
1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF AS2870, AS/NZS 2032 INSTALL OF PVC PIPES AND AS/NZS 3500 PLUMBING AND DRAINAGE STANDARD.
 2. PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
 3. DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING.
 4. EXCAVATION NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION.
 5. WATER RUNOFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
 6. PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
 7. CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL BE INCLUDED FLEXIBLE CONNECTIONS.



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REVIEWED AND CERTIFIED BY
SNIP CONSULTING ENGINEERS PTY LTD
CIVIL CONSULTING ENGINEERS
ROPES CROSSING, NSW 2760

APPROVED:
Mr RiyazKhan Pathan
MIEAust CPEng NER
Signature [Signature] Membership No. 3895292
Registered in the NER in the area of practice of Civil

DATUM: AHD
NORTH: [North Arrow]

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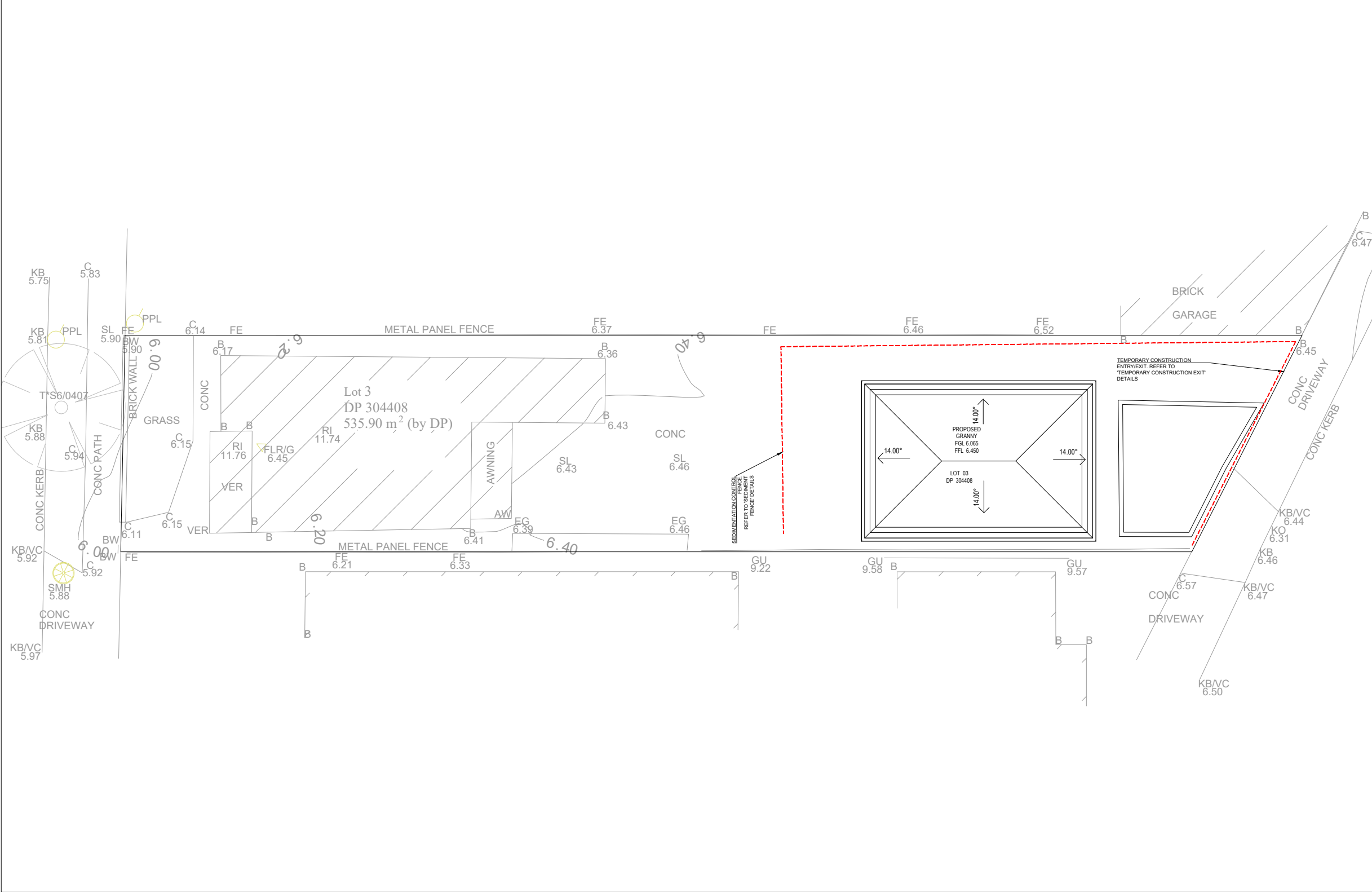
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SITE ADDRESS:
LOT 3 DP 304408
4 BELLOMBI STREET, CAMPSIE NSW 2194

DRAWING TITLE:
STORMWATER DETAILS

STATUS:
ISSUED FOR D.A OR C.C.

SCALE: N.T.S.	DRAWN: M.S.	ENGINEER: B.S.	DATE: 05.05.25
SHEET NO: 03			REVISION: A

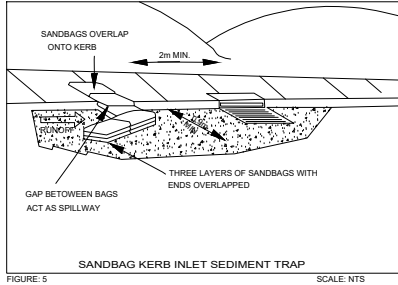
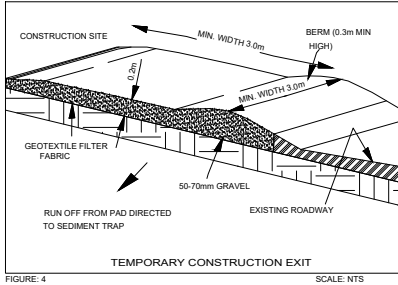
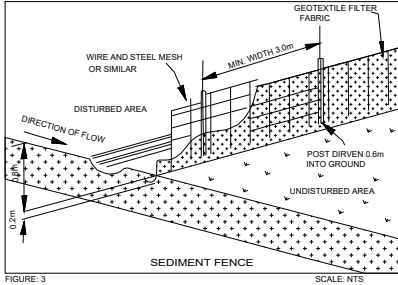
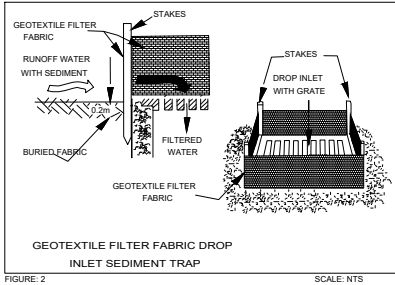
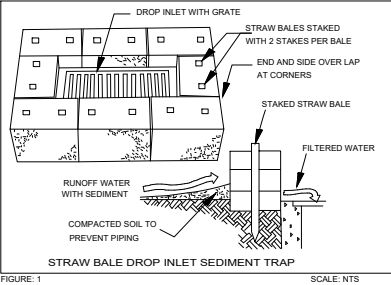


EROSION AND SEDIMENT CONTROL NOTES:

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH EROSION AND SEDIMENT CONTROL DETAILS IN THIS DRAWING SET.
- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF THE RELEVANT LOCAL AUTHORITY. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT THE LOCAL AUTHORITY APPROVAL. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S 'MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS'.
- PLACE STRAW BALES LENGTH WISE IN A ROW AS PARALLEL AS POSSIBLE TO THE SITE CONTOURS, UNO. BALE ENDS TO BE TIGHTLY BUTTED. BALES ARE TO BE PLACED SO THAT STRAWS ARE PARALLEL TO THE ROW. BALES ARE TO BE PLACED 1.5m TO 2m DOWN SLOPE FROM THE TOE OF THE DISTURBED BATTER, UNO.
- COUNCIL APPROVED FILTER FABRIC TO BE ENTRENCHED 150mm DEEP UP SLOPE TOWARDS DISTURBED SURFACE. FABRIC TO BE A MINIMUM SF2000 OR BETTER, FIX FABRIC TO POST WITH WIRE TIES OR AS RECOMMENDED WITH MANUFACTURERS SPECIFICATIONS. FABRIC JOINTS TO HAVE A MINIMUM OF 150mm OVERLAP. WIRE TO BE STRUNG BETWEEN POSTS WITH FILTER FABRIC OVERLAP TO PREVENT SAGGING.
- STABILIZED ENTRY/EXIT POINTS TO REMAIN INTACT UNTIL FINISH DRIVEWAY IS COMPLETE. CONSTRUCTION OF THE ENTRY/EXIT POINTS TO BE MAINTAINED AND REPAIRED AS REQUIRED SO THAT ITS FUNCTION IS NOT COMPROMISED. CONSTRUCTION OF ENTRY/EXIT POINTS TO BE IN ACCORDANCE WITH THE DETAILS CONTAINED WITHIN THIS DRAWING SET.
- ALL DRAINAGE PIPES INLETS TO BE CAPPED UNTIL DOWN PIPES CONNECTED AND PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER.
- PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED.
- THE CONTRACTOR SHALL REGULARLY MAINTAINED ALL EROSION AND SEDIMENT CONTROL DEVICES AND REMOVED ACCUMULATED SILT FROM SUCH DEVICES SUCH THAT MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULARLY WETTING DOWN (BUT NOT SATURATING) DISTURBED AREA.
- LAY 300 WIDE MINIMUM TURF STRIP ON 100 TOPSOIL BEHIND ALL KERB AND GUTTER WITH 1000 LONG RETURNS EVERY 6000 AND AROUND STRUCTURES IMMEDIATELY AFTER BACKFILLING AS PER THE RELEVANT LOCAL AUTHORITY SPECIFICATION.
- THE CONTRACTOR SHALL GRASS SEED ALL DISTURBED AREAS WITH AN APPROVED MIX AS SOON AS PRACTICABLE AFTER COMPLETION OF EARTH WORKS AND REGRADING.
- REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
- PROVIDE AND MAINTAIN SILT TRAP AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED. TOP SOIL SHALL BE STRIPPED AND STOCK PILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOP SOIL SHALL BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILIZED ONLY, (I.E. ALL FOOTPATHS, BATTERS SITE REGARDING AREAS BASINS AND CATCHDRAINS). TOP SOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCK PILE SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND IF NECESSARY BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCK PILE TO RETARD SILT LADEN RUNOFF.
- WHEN ANY DEVICES ARE TO BE HANDED OVER TO COUNCIL THEY SHALL BE CLEAN AND STABLE CONDITION.

SEDIMENT AND EROSION CONTROL PLAN :

- NOTES:
- DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURALS
 - REFER TO ARCHITECTRAL DRAWINGS FOR ALL SETOUT, LEVELS, FALL ETC.



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A	ISSUED FOR D.A OR C.C.	M.S.	B.S.	R.K.P.	05.05.25
REV	REVISION	DRAWN	ENG	CHECK	DATE

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SCALE: 1:200	DRAWN: M.S.	ENGINEER: B.S.	DATE: 05.05.25
SHEET NO: 04			REVISION: A

